

OILCENTER LAFAYETTE LOUISIANA ZONING AND DEVELOPMENT PROPOSED OVERLAY DISTRICT

GENERAL

The Oil Center Overlay District is comprised of three sub-districts: the Oil Center Commons District, Medical District, and Vermilion District. They differ principally through density, height, and usage requirements. A minimum of two land uses must be developed on a lot; residential being one of the required uses for every new development in the Oil Center Commons District and Vermilion District. The Medical District is the only district not required to have a residential component.

Where the Oil Center Zoning and Development Overlay District (hereinafter the "Overlay District"), and the underlying or base district have different standards or regulations, the more restrictive regulations pertaining to that land shall apply.

PURPOSE AND INTENT

The Oil Center Overlay District is intended to encourage mixed-use, pedestrian friendly developments, which will integrate harmoniously into the existing Oil Center community. The purpose of the Overlay District includes, but is not limited to, the following:

1. To enhance and increase the economic viability of the Oil Center and the surrounding area through the addition of mixed-use, residential developments;
2. To make the Oil Center a walkable community, thereby reducing the need for automobile travel and to introduce creative parking strategies, which join together, rather than divide the site. This integrates the new and old Oil Center community; and
3. To encourage communal spaces and livable communities through the use of public spaces that engage residents and visitors while meeting the daily needs of the community and contributing to a sense of belonging and ownership.

DESCRIPTION OF THE AREA

The area hereby designated as the Overlay District is the parcel of land bound between the major arterials: West Pinhook Road, and South College Road; the collectors: East St. Mary Boulevard, Bendel Road, and Girard Park Drive; the future South College extension; and the Vermillion River. The full area and the district boundaries are illustrated on a map prepared by the Community Design Workshop submitted for approval to the Lafayette Consolidated Government Planning, Zoning and Codes Department, a copy of which is attached and herein incorporated by reference. **(See Appendix 1: Oil Center Overlay District Map).**

The Overlay District is divided into three sub-districts:

1. The Commons District includes the parcel of land bound to the northwest by Girard Park (with the exclusion of residential and university property), to the northeast by East St. Mary Boulevard, to the southeast by West Pinhook Road, and to the southwest by Lafayette General Medical Center collective properties.
2. The Medical District includes the parcel of land bound to the northeast by the Commons District, to the southeast by West Pinhook Road, to the southwest by Bendel Road and South College Road, and to the northwest by Girard Park Drive. This district includes the current Lafayette General Medical Center's collective properties as displayed in Appendix 1.
3. The Vermillion District includes the parcel of land bordered to the northeast by the South College Extension, to the southeast by the Vermillion River, and to the west and the north by West Pinhook Road.

APPLICABILITY

The Overlay District regulations shall apply to all buildings or structures located within the Overlay District, as described above, except for those single family and multifamily dwellings located on Girard Park Drive and Oil Center Drive near Girard Park currently existing as of _____, 2010(?). **(See Appendix 1: Oil Center Overlay District Map)**

PRIORITY

Should any zoning and development issues arise related to the Overlay District, which cannot be resolved separately, the Board of Zoning Adjustment shall resolve any zoning matters first. The Zoning Commission and Board of Zoning Adjustment may grant permission to the Planning Commission to resolve development issues before all zoning issues have been resolved.

DEFINITIONS

ACCESSORY BUILDING: A subordinate building or portion of the main building on a lot, the use of which is customarily incidental, secondary, or minor to that of the main or principle building.

ACCESSORY USES: A use customarily incidental and subordinate to the principle use or building and located on the same lot with such principle use or building.

BUFFER: A landscaped area intended to separate and partially screen the view of two adjacent land uses or properties from one another.

BUFFER ZONE: Located between the curb and the pedestrian zone, street trees are planted in this zone. It is also acceptable to place pedestrian amenities in this zone.

BUILDING ENVELOPE: The separation between the interior and exterior environments of a building, including, but not limited to, a building's façade.

CURB TO BUILDING AREA: Linear dimension from edge of curb to the exterior façade of the building.

DWELLING UNIT: A dwelling unit consists of one or more rooms, including a bathroom and complete kitchen facility, which are arranged, designed, or used as living quarters.

DWELLING UNIT DENSITY: The number of residential units per unit of area.

DRIVE-IN ESTABLISHMENT: An establishment that accommodates patrons in automobiles, from which the occupants may purchase goods or services that may be consumed or utilized on the premises. Such establishments may also serve consumers inside the building.

DRIVE-THROUGH ESTABLISHMENT: An establishment designed so as to accommodate patrons in purchasing goods or services from an automobile, the consumption or utilization of which shall be off premises. Such an establishment may also serve customers inside the building.

FAÇADE: The exterior of a building, especially the front, and including the sides and back of the building

LOADING AREA: An area used for trash collection, refuse containers, outdoor freight loading and unloading, docks, or outdoor shipping and receiving.

LOT: A parcel of land occupied or capable of being occupied by one building and its accessory buildings or uses, which are customarily incidental, and including such open spaces as are required by this ordinance.

LOT COVERAGE: The amount of physical space occupied by the building's footprint on the lot.

MIXED-USE BUILDING: A building that has a combination of two or more primary uses. This includes, but is not limited to, a blend of residential housing, commercial/ retail, office, and/or civic uses.

PEDESTRIAN AMENITIES: Services or objects placed in the urban landscape that cater to or accommodate the pedestrian. Examples include benches, bike racks, planters, water fountains, garbage collectors, and street lighting.

PEDESTRIAN PLAZA: A public square or space designed to accommodate people on foot or bicycle; automobiles are expressly forbidden.

PEDESTRIAN ZONE: Areas located in between the buffer zone and the the building line. It is required to contain sidewalks and pedestrian amenities; automobile traffic is prohibited.

PROPERTY LINE: The lines bounding a lot, as defined herein.

PROXIMITY SLOPE: Requires that any portion of a building which resides in close proximity to residential homes, and is above 26 feet, must step back so as not to encroach on the privacy of the home owner. The amount of setback is determined as a 1/3 slope from the residential property line.

ON-STREET PARKING: Either parallel or pull-in parking located along the street edge provided by the city. It cannot be included in shared parking calculations.

OVERLAY DISTRICT: A set of regulations incorporated in the Lafayette Zoning Ordinance and City of Lafayette Subdivision Regulations that apply to a specific geographic area in the addition to the underlying zoning and development regulation.

SERVITUDES: A right of some benefit or beneficial use out of, in, or over the land of. For example, servitude exists for utilities, access, construction, drainage.

SHARED PARKING: The adjusted off-street parking required by the Zoning Ordinance of Lafayette, LA. It is calculated according to land use and the time of day during which each use is most active.

UNDERLAY ZONE: All preexisting zoning, land use, and code requirements or regulations.

URBAN SETBACK: Mandatory step back of a building's perimeter in relation to its height, which allows for light to penetrate the street level.

USES

PURPOSE: To aid in the appropriation of new developments for mixed-use, medium density buildings with an above-grade residential component, to increase urban character by promoting pedestrian friendly amenities, to reduce vehicular traffic, and to encourage innovative efficient site design. (See Appendix 2: B1 – Mixed Use Diagram)

MAIN USES PERMITTED

COMMERCIAL AND BUSINESS SERVICE USES: Catering services, custom business services, electronics service center, job or lithographic printing, medical or scientific laboratory.

INSTITUTIONAL AND COMMUNITY SERVICE USES: Adult daycare facility, child-care facility, church, college, university, or seminary, community service center, convalescent and nursing homes, hospice care and related institutions, convent or monastery, hospital, library, art gallery, museum, open enrollment charter school or private school, public school.

LODGING USES: Hotel, inn, motel, or resort.

MISCELLANEOUS USES: Temporary construction or sales office.

OFFICE USES: Financial institution without drive-in service, medical clinic or ambulatory surgical center, or office.

RECREATIONAL USES: Private recreation center club or area, public park, or playground.

RESIDENTIAL USES: College dormitory, group residential facility, handicapped group dwelling unit, multifamily, or retirement housing.

RETAIL AND PERSONAL SERVICE USES: Animal Shelter without outside runs, animal hospital, auditorium, boutique store, business school, clothing and apparel stores, commercial parking lot or garage, dry cleaning or laundry store without drive-in or drive-through service, furniture store, general merchandise store or food store, household goods store, household equipment and appliance repair, jewelry store, nursery or garden shop, personal services, restaurant without drive-in or drive-through service, temporary retail uses, or theater.

TRANSPORTATION USES: Transit passenger shelter.

UTILITY AND PUBLIC SERVICE USES: Local utilities, police or fire station, post office, utility or other government installation other than those listed herein.

MAIN USES NOT PERMITTED

AGRICULTURAL USES: None permitted.

INDUSTRIAL USES: None permitted.

RESIDENTIAL USES: Mobile home parks, RV or travel trailer park.

RETAIL AND PERSONAL SERVICES: Alcoholic beverage establishments, automobile sales, boat sales, bars, car wash, display or sale lots for manufactured and/or moveable homes or commercial buildings, drive-in or drive-through facilities, lounges, liquor stores, nightclubs (such as bars that operate through selling liquor until 2am), pawn shops, truck sales, trailer sales, RV or travel trailer sales, vehicle repair or service uses.

WHOLESALE, DISTRIBUTION, AND STORAGE USES: None permitted.

ACCESSORY USES PERMITTED

Pedestrian sky bridges and accessory community centers (private).

ACCESSORY USES NOT PERMITTED

Helipad, medical/ infectious waste incinerator, outside storage, pathological waste incinerator, amateur communication tower, general waste incinerator, or private stable.

DISTRICTS

The Oil Center Overlay District is divided into three sub-districts. They differ principally through density, height, and usage requirements. The district boundaries are illustrated in map A-1. The following charts give descriptions of the specific design criteria for each sub-district.

SUB-DISTRICT DESIGN CRITERIA

<u>The Oil Center Commons District</u>	
Front Yard Requirements	<ul style="list-style-type: none"> • No minimum • Maximum should be smallest distance that meets requirements • Part of frontage maybe used for pedestrian plaza *
Urban Setback	<ul style="list-style-type: none"> • For any portion of a building over 55 ft. **
Curb to Building Area Setback	<ul style="list-style-type: none"> • Minimum = 10 ft. Maximum = 15 ft. ***
Sidewalk Standards	<ul style="list-style-type: none"> • 5 ft clearance
Side Yard Requirements	<ul style="list-style-type: none"> • Not required but 5 ft. minimum if side yard is desired
Rear Yard Requirements	<ul style="list-style-type: none"> • 10 ft.
Maximum Lot Coverage	<ul style="list-style-type: none"> • 80%
Floor Area Ratio (FAR)	<ul style="list-style-type: none"> • Minimum = 1.2 Maximum = 2.4
Land Use Requirements	<ul style="list-style-type: none"> • A minimum of two land uses must be developed on a lot • Residential is one of the required uses for every new development
Dwelling Unit Density	<ul style="list-style-type: none"> • Each unit = 500 sq. ft. minimum • Minimum number of units per acre = 12
Minimum Stories Above Street	<ul style="list-style-type: none"> • 3 stories ****
Maximum Stories Above Street	<ul style="list-style-type: none"> • 6 stories *****
Maximum Height	<ul style="list-style-type: none"> • 80 ft.
<u>The Medical District</u>	
Front Yard Requirements	<ul style="list-style-type: none"> • No minimum • Maximum should be smallest distance that meets requirements • Part of frontage may be used for pedestrian plaza*
Urban Setback	<ul style="list-style-type: none"> • For any portion of a building over 65 ft. **
Curb to Building Area Setback	<ul style="list-style-type: none"> • Minimum = 12 ft. Maximum = 18 ft. ***
Sidewalk Standards	<ul style="list-style-type: none"> • 7 ft. clearance
Side Yard Requirements	<ul style="list-style-type: none"> • Not required but 5 ft. minimum if side yard is desired
Rear Yard Requirements	<ul style="list-style-type: none"> • 10 ft.
Maximum Lot Coverage	<ul style="list-style-type: none"> • 80%

Floor Area Ratio (FAR)	<ul style="list-style-type: none"> • Minimum = 2.2 Maximum = 4.0
Land Use Requirements	<ul style="list-style-type: none"> • A minimum of two land uses must be developed on a lot • Residential is not required
Dwelling Unit Density	<ul style="list-style-type: none"> • None required
Minimum Stories Above Street	<ul style="list-style-type: none"> • 4 stories ****
Maximum Stories Above Street	<ul style="list-style-type: none"> • 10 stories*****
Maximum Height	<ul style="list-style-type: none"> • 120 ft.
<u>The Vermilion District</u>	
Front Yard Requirements	<ul style="list-style-type: none"> • No minimum • Maximum should be smallest distance that meets requirements for buffer zone and pedestrian zone within the curb-to-building area. • Part of frontage maybe used for pedestrian plaza*
Urban Setback	<ul style="list-style-type: none"> • For any portion of a building over 55 ft.**
Curb to Building Area Setback	<ul style="list-style-type: none"> • Minimum = 12 ft. Maximum = 18 ft. ***
Sidewalk Standards	<ul style="list-style-type: none"> • 7 ft. clearance
Side Yard Requirements	<ul style="list-style-type: none"> • Not required but 5 ft. minimum if side yard is desired
Rear Yard Requirements	<ul style="list-style-type: none"> • 10 ft.
Maximum Lot Coverage	<ul style="list-style-type: none"> • 80%
Floor Area Ratio (FAR)	<ul style="list-style-type: none"> • Minimum = 1.6 Maximum = 3.2
Land Use Requirements	<ul style="list-style-type: none"> • A minimum of two land uses must be developed on a lot • Residential is one of the required uses for every new development
Dwelling Unit Density	<ul style="list-style-type: none"> • Each unit = 500 sq. ft. minimum • Minimum number of units per acre = 20
Minimum Stories Above Street	<ul style="list-style-type: none"> • 4 stories****
Maximum Stories Above Street	<ul style="list-style-type: none"> • 8 stories*****
Maximum Height	<ul style="list-style-type: none"> • 100 ft.

CHART REFERENCES

* **PEDESTRIAN PLAZA:** Up to 20% the length of a building's frontage may be used for a pedestrian plaza. (This is measured parallel to the building's frontage.) The maximum depth of a pedestrian plaza is 50 ft. (measured perpendicular from the frontage to the edge of the plaza)

****URBAN SETBACK:** An additional front yard setback is required for any portion of a building over 55 ft. in the Oil Center Commons District and the Vermilion District. The front yard must step back one foot for every two feet in height above 55 feet. (See Appendix 2: B5 & B7 –Vermilion and Commons District Urban Setback and Maximum Stories) In the Medical District, an additional front yard setback is required for any portion of a building over 65 ft. (See Appendix 2: B6 – Medical District Urban Setback and Maximum Stories)

*** **CURB TO BUILDING AREA SETBACK:** Linear dimension from the edge of the curb to the exterior façade of the building. The Curb to Building Area Setback for the Commons District is a minimum of 10 feet and a maximum of 15 feet. (See Appendix 2: B2 – Commons District Curb to Building Area Setback). The Curb to Building Area Setback for the Medical and Vermilion District are at a minimum of 12 feet and a maximum of 18 feet. (See Appendix 2: B3 & B4 – Medical and Vermilion District Curb to Building Area Setback).

**** **PROXIMITY SLOPE:** No building may be located above the residential proximity slope. If there is a conflict between the building districts required minimum height and the residential proximity slope calculations, then the Proximity slope calculations will take precedent. The proximity slope requires that any portion of a building that resides in close proximity to residential homes, and is above 26 feet must step back so as not to encroach on the privacy of the home owner. The amount of setback is determined as a 1/3 slope from the residential property line.

***** **MAXIMUM BUILDING STORIES:** In the Commons District, no building shall exceed a maximum height of 6 stories and be less than a minimum height of 3 stories. (See Appendix 2: B5 – Commons District Urban Setback and Maximum Stories). In the Medical District, no building shall exceed a maximum height of 10 stories and be less than a minimum height of 4 stories. (See Appendix 2: B6 – Medical District Urban Setback and Maximum Stories). In the Vermilion District, no building shall exceed a maximum height of 8 stories and be less than a minimum height of 4 stories. (See Appendix 2: B7 – Vermilion District Urban Setback and Maximum Stories)

FAR BONUSES

The Floor Area Ratio ("FAR") may be increased, allowing for greater density on a plot of land by adding one or more of the following amenities:

MAIN

- Mixed-use with residential component will increase FAR*
- An above or below grade parking structure will increase FAR*

MINOR

- The development of a Pedestrian Plaza of a maximum of 20% of front facades total and 50' deep will increase FAR*
- A LEED certification of Silver or better will increase FAR*
- The assemblage of multiple parcels from different owners into a single property for a development will increase FAR*
- The addition of three or more approved pedestrian amenities.

*Further calculations are illustrated using the bonuses chart below:

FLOOR AREA RATIO (FAR) BASE AND BONUSES

FAR	COMMONS	VERMILLION	MEDICAL
BASE	1.2 FAR	1.6 FAR	2.2 FAR
Main 1	+ .5 FAR	+ .5 FAR	+ .5 FAR
Main 2	+ .5 FAR	+ .5 FAR	+ .5 FAR
Minor 1	+ .2 FAR	+ .2 FAR	+ .2 FAR
Minor 2		+ .2 FAR	+ .2 FAR
Minor 3		+ .2 FAR	+ .2 FAR
Minor 4			+ .2 FAR
MAX	2.4 FAR	3.2 FAR	4.0 FAR

PEDESTRIAN PLAZAS AND AMENITIES

The pedestrian zone is located in-between the street trees and the building facade. Pedestrian amenities may be attached to the exterior façade of the building so long as they do not obstruct street level window views or impede pedestrian traffic.

Pedestrian plazas are located on the street frontage and begin at the building line. Up to 20% the length of a building's frontage may be used for a pedestrian plaza. (This is measured parallel to the building frontage.) The maximum depth of a pedestrian plaza is 50 ft. (measured perpendicular the frontage to the edge of the plaza).

Sidewalks must be located in the pedestrian zone and must taper to match the widths of existing sidewalks. The Distance of the taper must match the width of the new sidewalk.

Any additional pedestrian pathway is required to be at least 4 ft. wide.

At least three of the following pedestrian amenities must be provided within the curb-to-building area of every lot in order to receive FAR bonuses:

- Awnings or canopies that overhang at least 4 ft. and are provided for 25% of the façade with a minimum of 25 ft. and must have a 9 ft. clearance.
- A combination of Class B Trees every 25 ft. and a minimum of one evergreen shrub for every 5 ft. of frontage.
- A minimum of two benches, and an additional bench for every 100 ft. of frontage.
- A minimum of two trash receptacles, and an additional receptacle for every 100 ft. of frontage.
- A minimum of two bicycle racks, which hold at least five bicycles and which are repeated every 100 ft. of frontage.
- Pedestrian street lamps every 50 ft. of frontage, either freestanding or wall mounted. Lamp fixtures must have a 9 ft. clearance and may not exceed 14 ft. in height. Light fixtures may not emit light upwards into dwelling units.
- Decorative pavers in the pedestrian zone for the full width and length of the sidewalk along the entire frontage.
- Public art or water features that cost at least \$2500 dollars, only one per lot.
- Public drinking fountains, only one per lot.

SEWER AND UTILITY REQUIREMENTS

No new developments shall be serviced by an individual treatment system. New developments must connect to Lafayette Utilities System ("LUS") wastewater collection system at the expense of the owner/developer. Servitudes for public utilities and drainage will follow guidelines and standards mandated by the appropriate Department of the Lafayette Consolidated Government. No building or pedestrian amenities such as balconies, signs, or overhangs will be allowed to project over servitudes that include major utility equipment (i.e., fire hydrants, transformers, switching cabinets, major valves, etc.).

ACCESS MANAGEMENT

Adjacent or abutting lots with direct access for automobiles are required to have joint or shared driveways whenever possible. Driveways should allow for cross access between sites. This includes new building sites that abut or develop across from previously developed properties, unless it proves to be unfeasible. Property owners must document all cross access easements either by a note on the plat or by placing it on record within a separate document to be filed through the Lafayette Parish Clerk of Court.

To coordinate access through boulevards, driveways should be consolidated and arranged across from median openings whenever feasible.

Pedestrian crosswalks are required to be clearly marked, and must plainly indicate where the crosswalk traverses the driveway.

Driveways into parking lots or parking structures must be from street entrances.

Circular or semi-circular driveways are expressly prohibited.

It is required that all curb cuts be a minimum of 12 ft. and shall not exceed 24 ft. in length. This is measured parallel to the frontage. An individual lot is only allowed one curb cut for each frontage.

ACCESSORY STORAGE AREAS

All accessory and storage areas or buildings must be attached to the principal building and must be constructed of identical materials and should appear as a component of the primary building.

ARCHITECTURE

Building façades are required to be as close to the pedestrian zone as allowable by code with the exception of pedestrian plazas. Columns and arcades must not be set back from the building line more than 10 ft.

All buildings and structures that share one site must be cohesive architecturally, meaning that they are similar in style, color scheme and/or material selection.

Parking deck and garage façades visible from any point on the ground must appear to be a multi-story buildings and should be architecturally unified in style, color, and/or material choice for which the building that they are constructed.

New constructions or additions to previously existing structures must follow both residential proximity slope and urban setback requirements; both shall supersede all other height allowances.

The following accessory structures may exceed the district height limit provided they do not exceed the maximum height more than 12 ft. and are visually screened when appropriate:

Communication towers, cooling towers, clerestories, chimneys and vent stacks, elevator penthouses or bulkhead, flag poles, mechanical equipment rooms, ornamental cupolas or domes, parapet walls (limited to a height of 4 ft.), stairway access to roof, roof top decks, skylights, sirens or belfries, solar panels, tanks designed to hold liquids, visual screens surrounding roof-mounted mechanical equipment, wind turbines and other integrated renewable energy systems.

All street-facing, ground level portions of a building must have windows and primary entrances that face the street or pedestrian plaza. There must be a transparent surface (either window or door) at least every 10 linear ft. All corner structures must have entrances in compliance with the visibility triangle standards set by the Planning, Zoning, and Codes Department of Lafayette, Louisiana.

Street-facing, ground level windows must:

- Cover at least 50% of street-facing façade;
- Can not have a bottom edge higher than 3 ft.; and
- Must be clear, unpainted, allowing for two-way visibility.

Façades greater than 100 linear ft. are required to have an articulated surface that either recesses or projects 3% the length of the façade for a minimum of 20% the length of the façade.

Building façades must be comprised of at least three of the subsequent architectural elements: color change, texture change, material change, or a change in the vertical surface of at least 2 ft. in width that expresses or emphasizes an architectural or structural element.

Rooflines must have an elevation change for minimum 20% of the buildings frontage and it must be an articulation of at least 5 ft. unless the building is furnished with an inhabitable rooftop garden.

Corrugated metal siding, aluminum siding, or vinyl siding is forbidden on the exterior façade, along with exposed concrete block.

Building and roof colors should consist of primarily natural earth tones, white, black, or shades of gray. Intense or vibrant colors are allowed for accent purposes only, such as trim and signage.

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PARKING

Parking requirements are to follow the guidelines set forth by the Lafayette Zoning Ordinance; however, the total parking required may be adjusted in accordance with the following shared parking table.

PARKING TIME OF DAY COLUMNS

Use Category	Morning	Noon	Afternoon	Late Afternoon	Evening
Residential Uses	80%	50%	60%	70%	100%
Office-related Uses	100%	80%	100%	85%	30%
Retail-related Uses	60%	70%	70%	65%	70%
Bar and Restaurant Uses	20%	100%	30%	30%	100%
All other uses	100%	100%	100%	100%	100%

The adjusted standard for off-street parking is calculated by adding the “time-of-day” columns of the uses that are applicable to the site. Multiply the number use categories used in the previous step by 100 then divided the highest total from the “time-of-day” column by this total.

Parking should be restrained to rear and side of the building whenever possible.

It is mandatory that all on-grade parking have concrete curbs and drainage channels with underground drainage.

All parking lots visible at ground level must have the following screening requirements:

- A 5 ft. wide landscaped strip along the parking lot or structure
- Class B Trees* will be planted a minimum of 15 ft. apart or in clusters of three every 30 ft.
- An unbroken row of large evergreen shrubs must also be planted in the landscaping strip.
- For parking lots with more than four rows of parking, it is required that every four rows contain a 15 ft. wide interior landscaped strip with at least one Class A Tree* and Ground Cover Shrubs.* Fences

may accompany landscaping but are not considered a substitution for landscaping.

- Covered parking may act as a substitute for interior parking lot landscaping only. All exterior parking lot screening is still required.

*Refer to Appendix B, RECOMMENDED TREE AND SHRUB SPECIES, Lafayette Zoning Ordinance.

OFF-STREET LOADING SPACES AND SCREENING REQUIREMENTS

Loading Spaces shall have the minimum dimensions of 12 ft. in width and 25 ft. in length. On-site maneuvering space of no less than 52 ft. in length shall be provided adjacent to the loading dock.

Required off-street loading and related maneuvering space shall be located only on or abutting the property served. No part of any vehicle using the loading space shall project into the right-of-way of any public or private road.

All off-street loading spaces must be visually screened from public streets. Screening must be at minimum 6 ft. in height. (Refer to Appendix B, RECOMMENDED TREE AND SHRUB SPECIES, Lafayette Zoning Ordinance).

Refuse storage areas must be visually screened from public by stone, brick, concrete masonry, stucco, concrete, or wood walls, fences or green walls. Refuse must be kept in a dumpster, and it may not be located in setback areas, pedestrian areas, landscaped strips, or buffer zones.

All mechanical equipment for buildings should be screened from view of the public. This includes mechanical equipment located on roof tops.

GENERAL LANDSCAPING AND LIGHTING STANDARDS

Class B Trees must be planted for every 50 ft. of frontage. There is a minimum of two trees per a lot. Street trees should be planted in the buffer zone located in the public right of way.

Trees within 18 inches of a curb must have a protective grate.

At minimum, 10% of every lot is to be open space in the form of permeable surface. The space must be at least 5 ft. wide and no less than 25 square ft. to be calculated as part of the 10%. It can be in the form of a perimeter landscape buffer strip, recreation area, urban garden, conservation area, or flower bed.

A credit of 50% of the open space requirement is allowed for building sites within 1/8 of a mile of an existing public open space.

The building official may approve a reduction in the number of parking spaces by one space for each protected tree that would otherwise have to be removed. The maximum reduction allowable for this section is 2% of required parking or one space whichever is greater.

All lighting should be shielded and directed downward to minimize light pollution. Searchlights for advertising purposes are forbidden.

Parking lot lighting is not allowed in landscape islands or within 15 ft. of a property line. Parking lot lights are not to exceed 35 ft. in height.

SIGN STANDARDS

Building signs must not extend higher than the building or wall to which it is attached.

Signs attached to canopies cannot exceed 20 square ft.

All freestanding signs must appear to have a solid base must not be a pole sign, and must relate architecturally to the building it serves.

Signs can display only name, address, and company logo or trademark. They cannot be animated, or contain flashing, blinking, or running lights.

No temporary signs are allowed, including, but not limited to, any product advertisement signs.

No windblown or inflatable advertising devices of any type are allowed. This includes other devices that emit smoke, bubbles, sound, or other substances.

NEW BLOCKS AND NEW MINOR STREETS

The following standards will be applied to the subdivision of all existing parcels of land in the Overlay District:

The block perimeter may not exceed 1600 linear ft. This is measured along the inner edges of each street. No single block face may exceed 550 ft. in length.

Any single block-face longer than 500 ft. must include a pedestrian passage that can be accessed by the general public at all times.

Block perimeters may exceed 1600 linear ft., up to a maximum of 2,400 linear ft., if one of the two following conditions is satisfied:

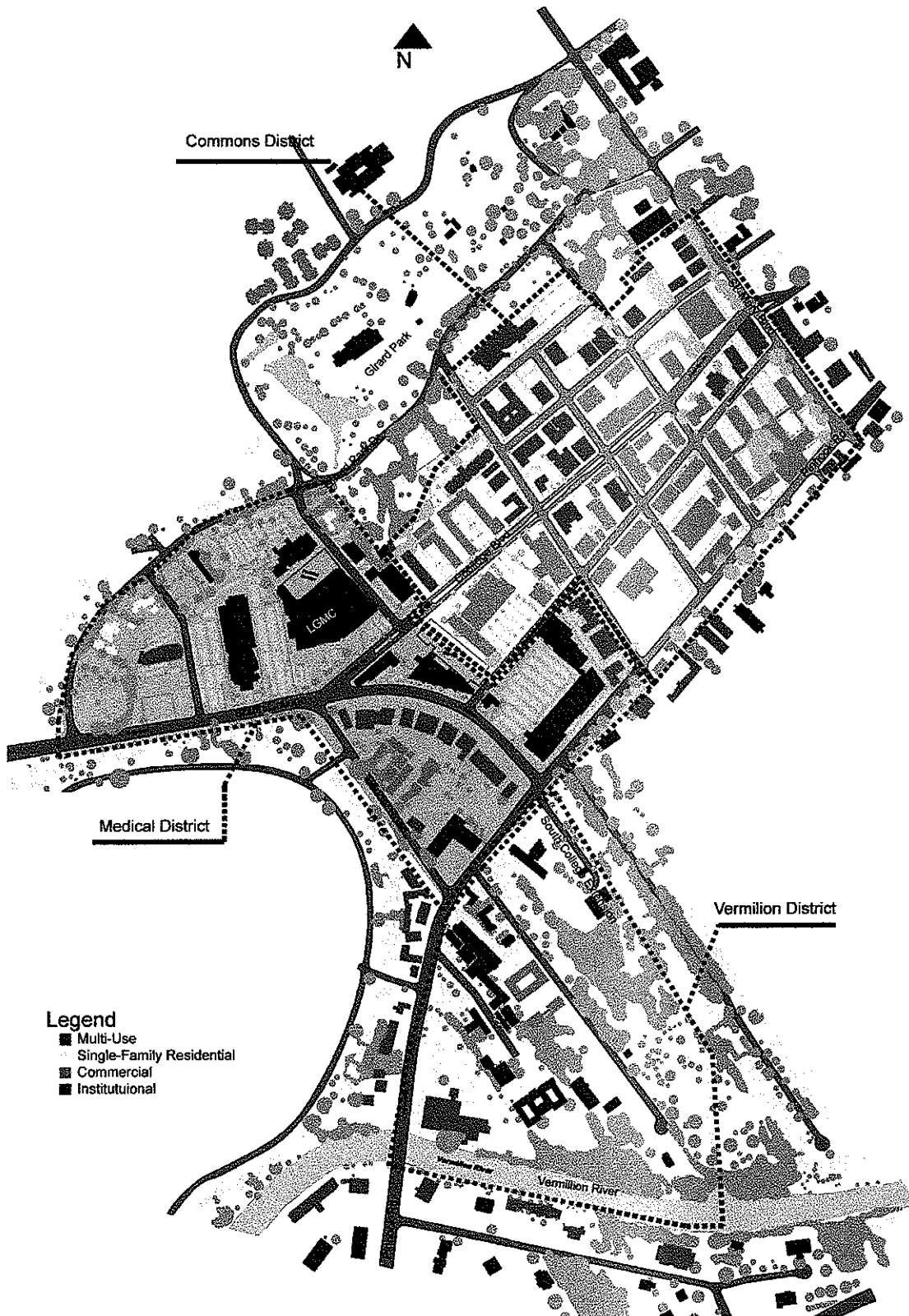
- The block must have a mid-block alley that connects two streets with a pedestrian passage made available at all times to the general public; or
- The block contains valuable natural features or significant historic resources that should not be crossed by a street.

APPENDIX 1

The Oil Center Overlay District Plan

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Oil Center Overlay District Map



APPENDIX 2

Building Diagrams

B1 - Mixed Use Diagram

B2 – Commons District Curb to Building Area Setback

B3 – Medical District Curb to Building Area Setback

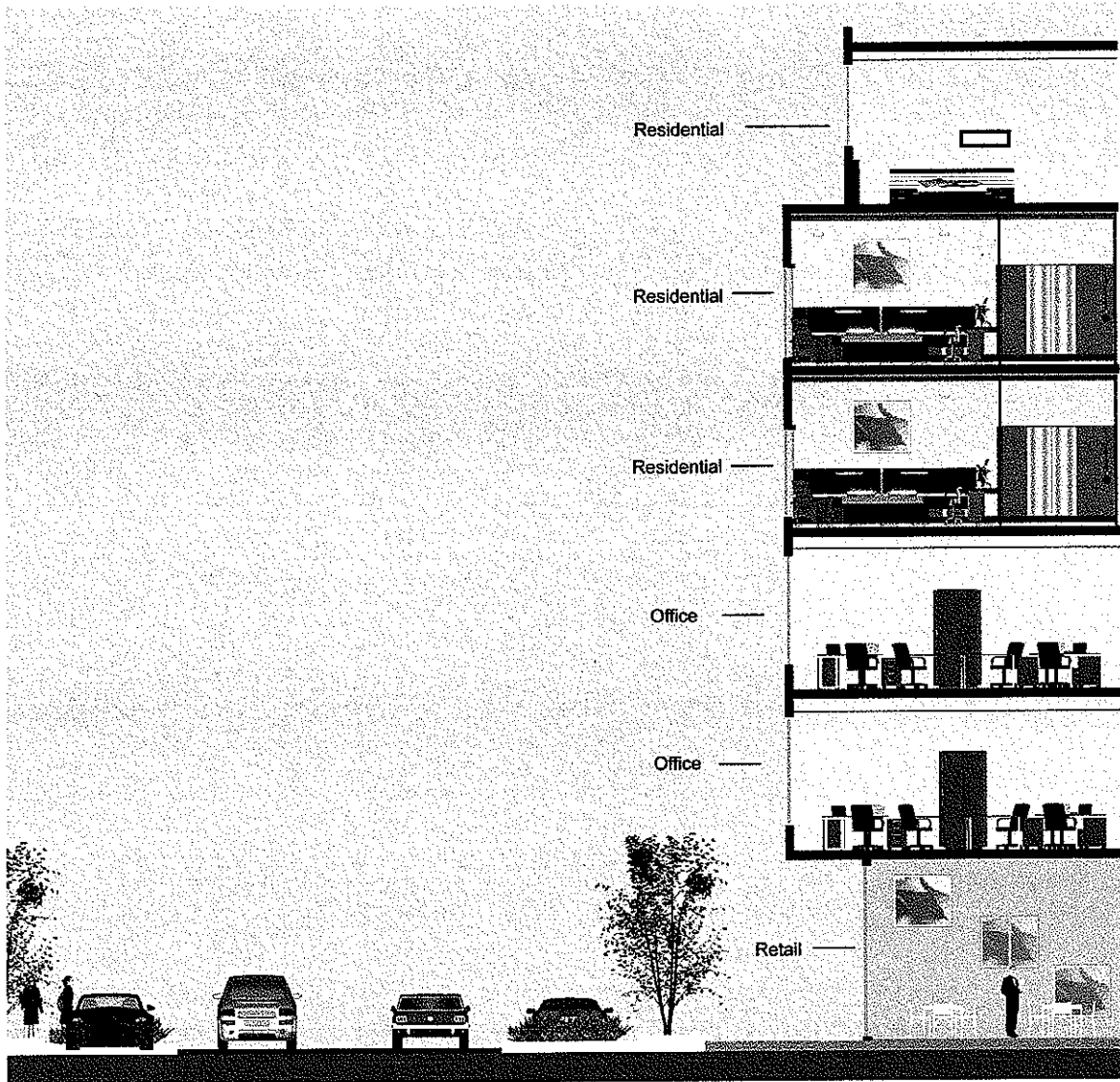
B4 – Vermilion District Curb to Building Area Setback

B5 – Commons District Urban Setback and Maximum Stories

B6 – Medical District Urban Setback and Maximum Stories

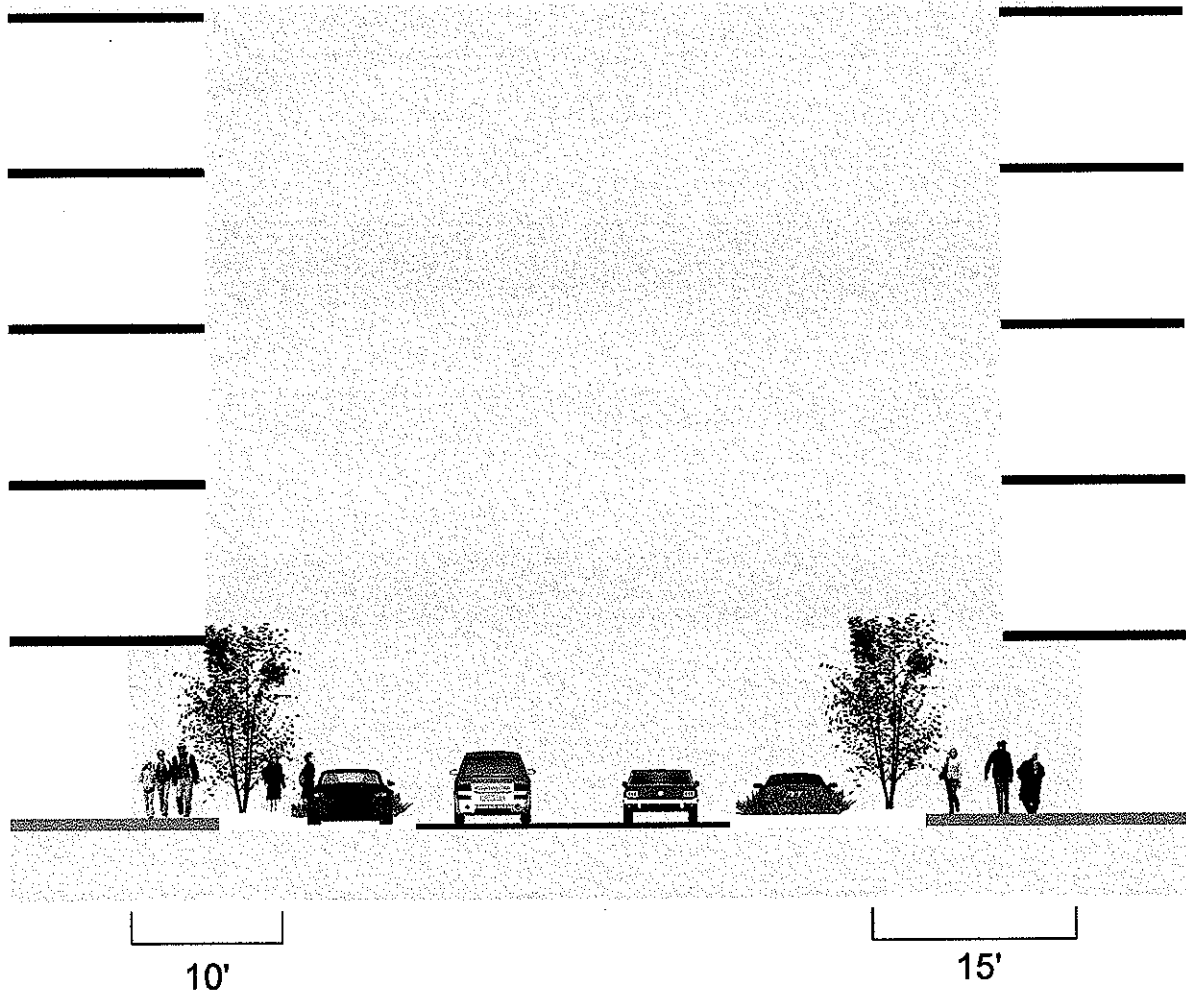
B7 - Vermilion District Urban Setback and Maximum Stories

B1 -Mixed Use Diagram



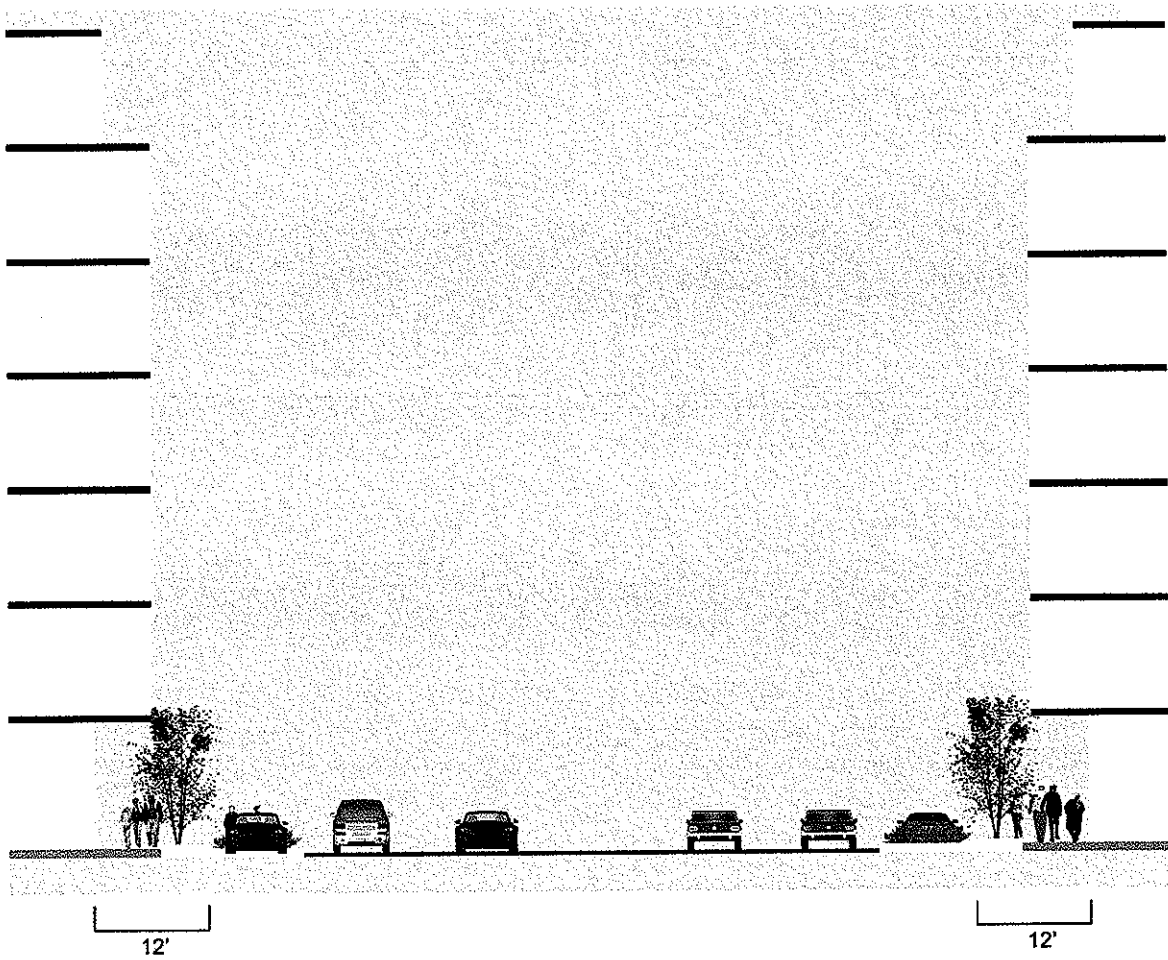
B2

Commons District Curb to Building Area Setback



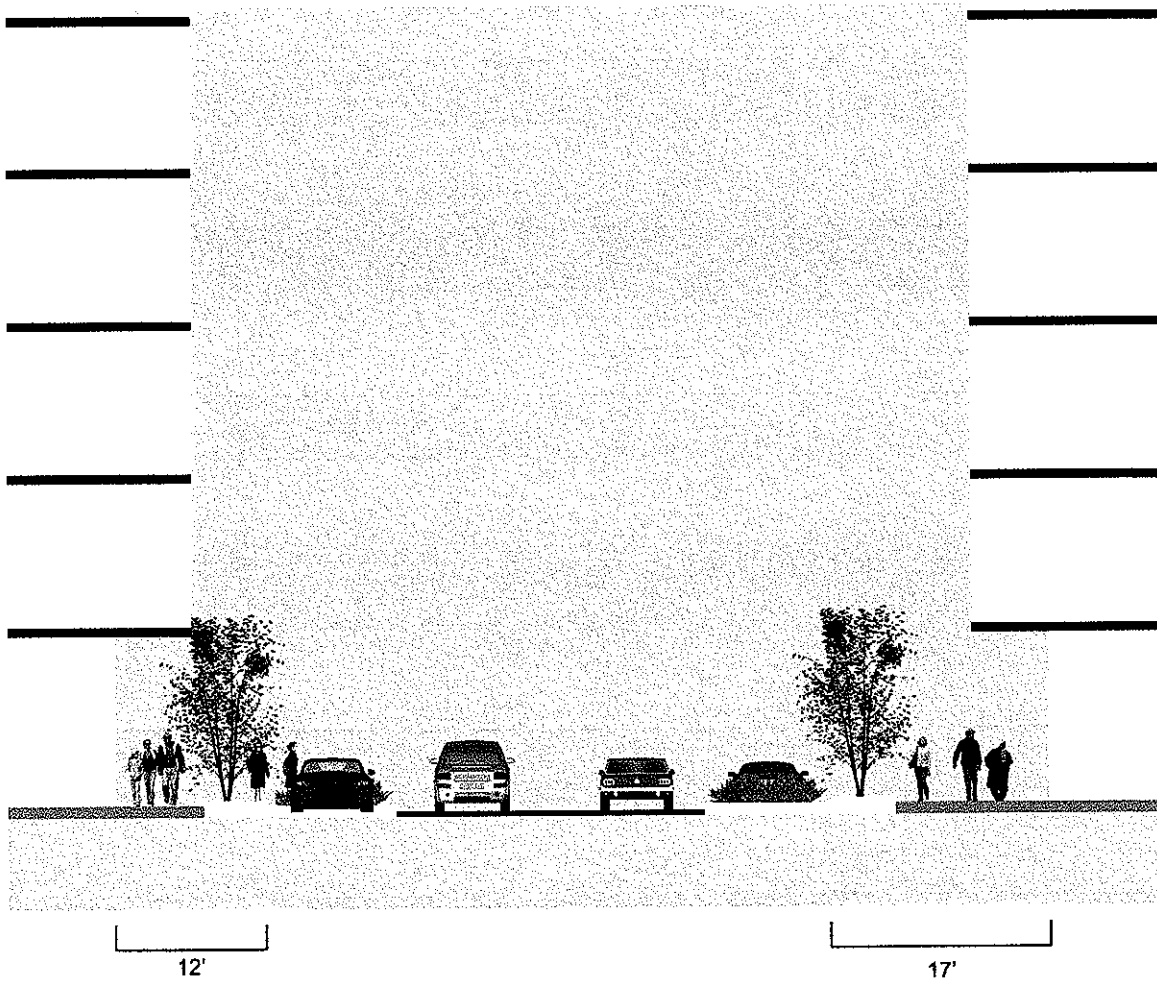
B3

Medical District Curb to Building Area Setback



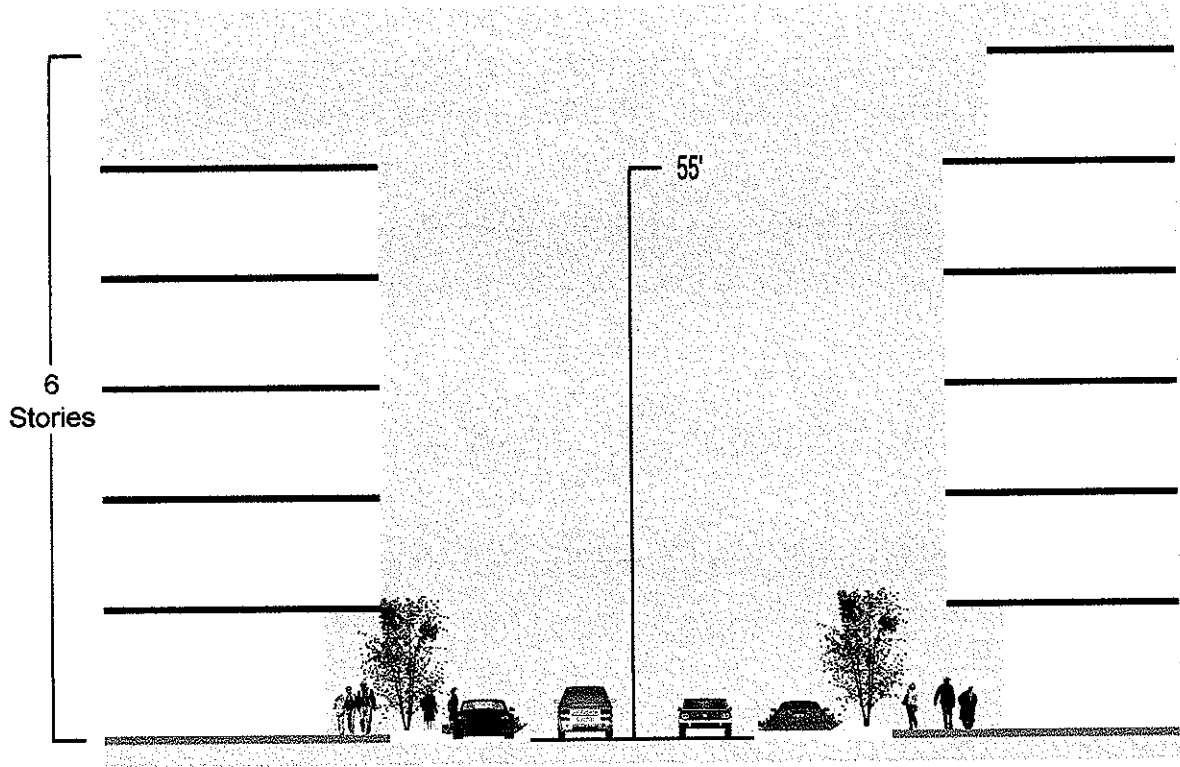
B4

Vermilion District Curb to Building Area Setback



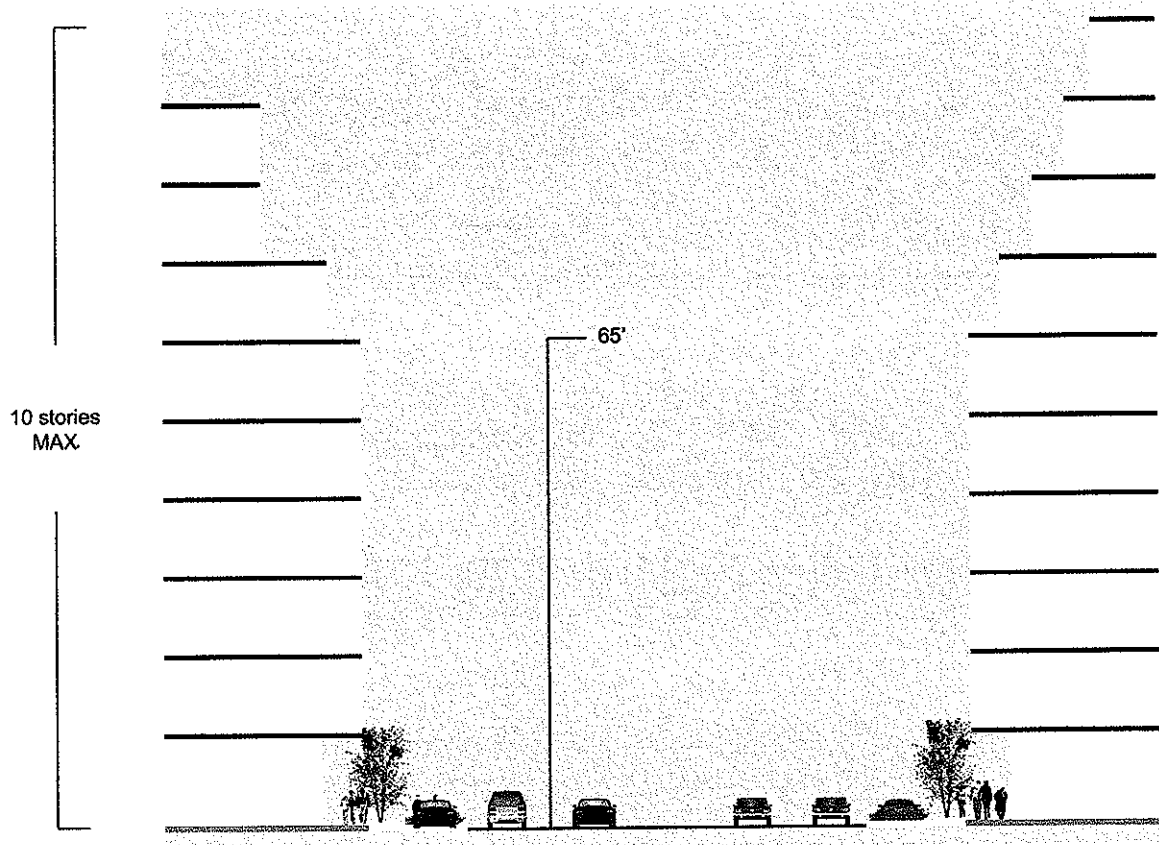
B5

Commons District Urban Setback and Maximum Stories



B6

Medical Urban Setback and Maximum Stories



B7

Vermilion Urban Setback and Maximum Stories

